

Design and access statements

Supplementary planning document
Draft for consultation

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1. About this supplementary planning document (SPD)

1.1 Background

National planning policy guidance states that sustainable development should be the core principle underpinning planning. This is reflected in the strategic policies in Southwark's emerging Unitary Development Plan, 2006, (the Southwark Plan) and also in the draft Southwark 2016 strategy. This puts sustainable communities at the heart of Southwark's vision for the next 10 years.

For buildings and neighbourhoods to provide attractive, safe and accessible places for current and future generations, it is critical that design and access matters are considered very carefully. The preparation of a design and access statement assists developers, architects and urban designers in developing a design solution that is appropriate for their proposal and that explains the design to decision makers and the general public.

A design and access statement is now a legal requirement for many types of applications for planning and listed building consent. New legislation, active from August 10 2006, means a planning authority cannot accept applications which are not accompanied by a design and access statement. (In the past design and access statements were sometimes submitted voluntarily.)

1.2 Role and purpose

The purpose of this supplementary planning document (SPD) is to clarify what the council expect applicants to include in a design and access statement.

Policy 3.12 in the emerging Southwark Plan, as well as London Plan (2004) policies 4B.1 and 4B.5 require a design and access statement to be submitted for many types of applications. This SPD provides further guidance on these policies and will be a material consideration in the determination of planning applications. It will be adopted to strategic objective E2 and policies E.2.1-E.2.5 of the adopted Unitary Development Plan (1995) and policy 3.12 of the emerging Southwark Plan.

The SPD provides information for a range of people, including

- developers, architects and consultants working on commercial and residential developments
- householders making alterations to a property in a conservation area.

The SPD will be used by planning officers, councillors and members of the public to make decisions and understand what to expect from a good design and access statement.

1.3 The design and access statement

A design and access statement

- Explains the evolutionary process of the development and the thinking behind the final design
- Shows how the design of the proposal has taken into account the nature of the surrounding area and how it helps to improve the environment
- Shows the applicant has considered how everyone, including disabled people, people with pushchairs and older people can use the building
- Should include a written statement and appropriate illustrations.

The length and detail of the statement will vary depending on the scale and complexity of the proposal.

1.4 When to use a design and access statement

A design and access statement is required for both outline and full planning applications. Applications for listed building and conservation area consent also require a design and access statement. Design and access statements are not required for applications involving

- A change of use that does not involve operational development
- Engineering or mining operations
- Alterations or extensions to a dwelling house not in a conservation area
- Advertisement consent
- Tree consent
- Hazardous waste applications.

1.5 The application process in relation to design issues

The applicant should involve the council as early as possible in the planning application process. To minimise delays in the assessment of planning applications the council offer a pre-application discussion service. A pre-application discussion can identify areas of concern so that the proposal and the design and access statement can be amended if necessary before submitting the application. The applicant must submit details of the application and the design and access statement prior to the discussion.

Once the planning application is submitted, the council assess the proposal against the policies set out in the emerging Southwark Plan or any other relevant area action plans. In addition to a design and access statement, the council may require other documents, for example a sustainability assessment or an energy assessment. The emerging Southwark Plan sets out when these other documents are required. When the council have reached a decision on the planning application, planning permission will be granted or refused. It may be granted subject to conditions on design, for example the type of materials used in the building.

Large scale proposals

The council have established an external 'design review panel' to provide advice on large scale proposals. The panel consists of a number of design professionals who provide expert advice on the quality of architecture and urban design. Projects of particular interest to the panel include those of strategic importance in the early stages of preparation. The panel does not have statutory status and the council has discretion over which proposals are reported to the panel.

During a design panel review meeting, the design practitioner will have the opportunity to present their scheme to the panel. A report of the panel's views will be prepared and agreed by the appointed chair. The report comprises independent advice which will inform the decision of the council. It is not binding on the council, but will be one of a number of considerations which is taken into account in deciding the application including, for example, considerations relating to land use.

2. Stages in preparing a design statement

2.1 The design process

The statement should explain the design process behind the final design. The design process must be considered early on in the development of the proposal and should not be written at the end of the process to justify a pre-determined scheme. It needs to show that the final proposal has been informed by the wider context of the site including local character, local issues and local circumstances. The council encourages applicants to follow an

- Assessment
- Involvement
- Evaluation
- Design

process. This is outlined in figure 1.

Figure 1 - The assessment, involvement, evaluation and design process

■ Assessment

The design and access statement needs to demonstrate how the local context has influenced the final design of the proposal. It must involve a site visit to appraise the local context of the site and its surroundings, and may also involve a desk survey and access audit. The extent of the area surveyed will depend on the scale and complexity of the development and the site and its surroundings. It needs to include a written analysis and is likely to include diagrams and photographs to illustrate the site analysis. The assessment should take into account the physical, social, economic and planning policy context.

Physical context

- The physical characteristics of the site and surrounding area including existing buildings and spaces, topography, trees and landscaping materials, existing access, ease of movement, and microclimate. Diagram 1 illustrates some of the physical characteristics the applicant needs to consider
- The character of the place including historic buildings, architectural quality, important views and legibility.

Social context

- How the site can improve the life chances of local people through provision of facilities, for example community uses at the ground floor, active frontages, and services as part of mixed use developments
- The aspirations of local people for the site and how these have been taken into consideration. This may be closely linked with the involvement stage of the design process.

Economic context

- The effect the development will have on the local economy and providing jobs and training for local people
- It may include consideration of the effect the development may have on the value of the land.

Planning policy context

- The planning policies and guidance affecting the site and its development, including the London Plan, the emerging Southwark Plan, other documents in Southwark's Local Development Framework (LDF) and Southwark's Community Strategy. In particular, the applicant is likely to need to consider policies relating to land use designation, urban design standards, accessibility and inclusion of disabled people.

■ Involvement

The new planning system puts greater emphasis on frontloading public consultation. The council's Statement of Community Involvement (SCI) sets out how to ensure effective community involvement in the planning system. It is good practice for the design and access statement to

- Show what groups of people have been/will be involved in the design process. This should include both local communities and professionals such as planning officers and design and access officers. It is recommended that local communities and professionals are involved as early in the process as possible. The council can help applicants identify local communities to consult on the development. The Statement of Community Involvement describes a wide range of consultation methods that can be used. This may also involve making a presentation to the design review panel
- Show the findings of the consultation and indicate how these have been taken into account and how they have affected the proposal.

■ Evaluation

After the assessment and evaluation stages are completed, the site can be evaluated. This should involve

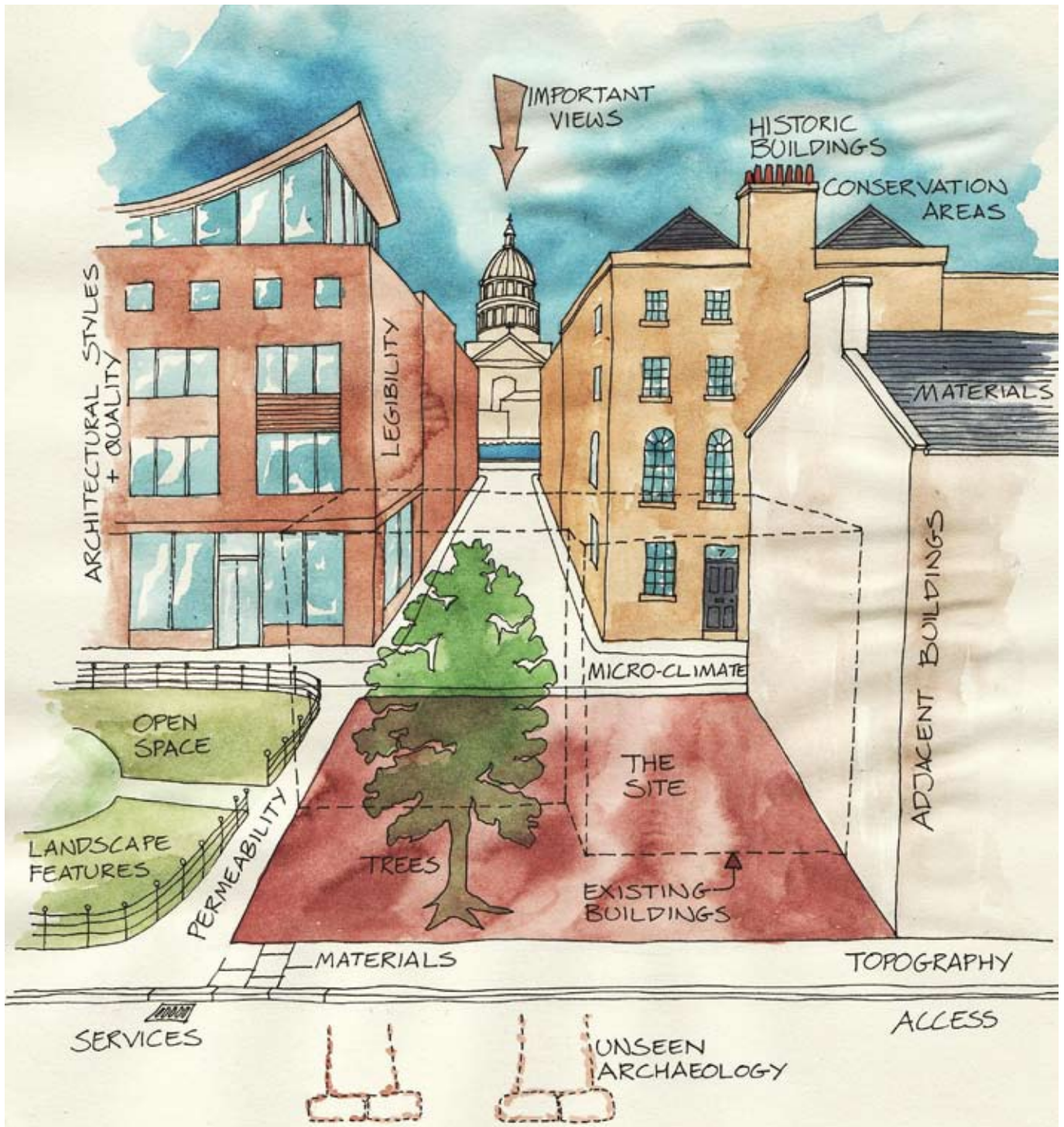
- Evaluating the information collected in the assessment and involvement stages
- Identifying opportunities and constraints based on the context of the site and issues identified through public consultation
- Explaining any potentially conflicting issues and describing how these have been resolved
- Setting out what decisions have been taken and why, based on the stages of assessment and involvement.

■ Design

The previous three stages help lead to the design of the final scheme

- The final stage involves showing how the assessment, involvement and evaluation are reflected in the proposed design
- Applicants must work through the four stages to tell the story behind the final scheme
- It may include designs that were considered and then found not to work.

Diagram 1- Physical context of a development as part of the assessment stage



3. Writing a design and access statement

A design and access statement must include the elements outlined in sections 2 and 4 of this SPD. The following advice applies to the structure of a design and access statement

- ✓ The design and access statement should be a short report illustrating the process that has led to the development proposal
- ✓ The length of the statement should vary depending on the scale and complexity of the application. For a simple and small proposal it may be as short as one page
- ✓ For larger and more complex developments, the statement should include plans, diagrams and photos. These are not a substitute for drawings and other materials required as part of the planning application
- ✓ The statement must be specific to the application
- ✓ The statement needs to be started at the beginning of the preparation of the proposal so it influences design and inclusive access
- ✓ The statement should be flexible and able to adapt as the development progresses
- ✓ The statement should be concise and to the point.

A checklist on what to include in a design and access statement is in Appendix A. The applicant should use the checklist to ensure they have included everything prior to submitting the application. Planning officers also use the checklist to ensure that the design and access statement explains all aspects of the proposed design.

4. What to include in the design and access statement

4.1 What to include

The design and access statement needs to look at the design principles and concepts that have been applied to the following aspects of the proposal

- 4.1.1 ■ Use
- 4.1.2 ■ Amount
- 4.1.3 ■ Layout
- 4.1.4 ■ Scale
- 4.1.5 ■ Landscaping
- 4.1.6 ■ Appearance
- 4.1.7 ■ Access.

4.1.1 ■ Use

The planning application will state the proposed use of the development. Design and access statements need to include

- ✓ Justification of the proposed land use or mixture of uses in the light of land use planning policies
- ✓ An explanation of how the proposed development fits with the surrounding context and existing uses
- ✓ Consideration of whether the development should be a mixed-use development. Mixed-use developments can enhance the urban environment by generating activity at different times of the day, increasing natural surveillance and reducing the need to travel. Careful thought should be given to the mix to avoid conflicts.

4.1.2 ■ Amount

Whether the application is for full or outline permission, the applicant must state the amount of development proposed for each use. For residential developments, amount refers to the number of proposed units for residential use. For all other developments it will refer to the proposed floor space for each proposed use. Design and access statements should

- ✓ Explain why the chosen amount is appropriate to the site and its surroundings
- ✓ Show how the proposed amount of development will be distributed across the site

- ✓ Demonstrate that accessibility for all members of the community has been maximised
- ✓ Justify the density of the proposal, particularly in the case of larger developments. The emerging Southwark Plan policy 4.1 – Density of residential development, sets out the appropriate ranges. Making efficient use of land to provide new homes, jobs and services, without building on open space is important. This should be achieved within the local character and context of the area
- ✓ Consider whether developments exceed the maximum density range. Buildings within a public transport accessibility zone (PTAZ) may exceed the maximum density range set out in the emerging Southwark Plan policy 4.1 if the development provides: an exemplary standard of design, with an excellent standard of living accommodation; and a significant contribution to environmental improvements in the area. (The four PTAZs within Southwark are Canada Water, the Walworth Corridor, Bermondsey Spa and Peckham.)

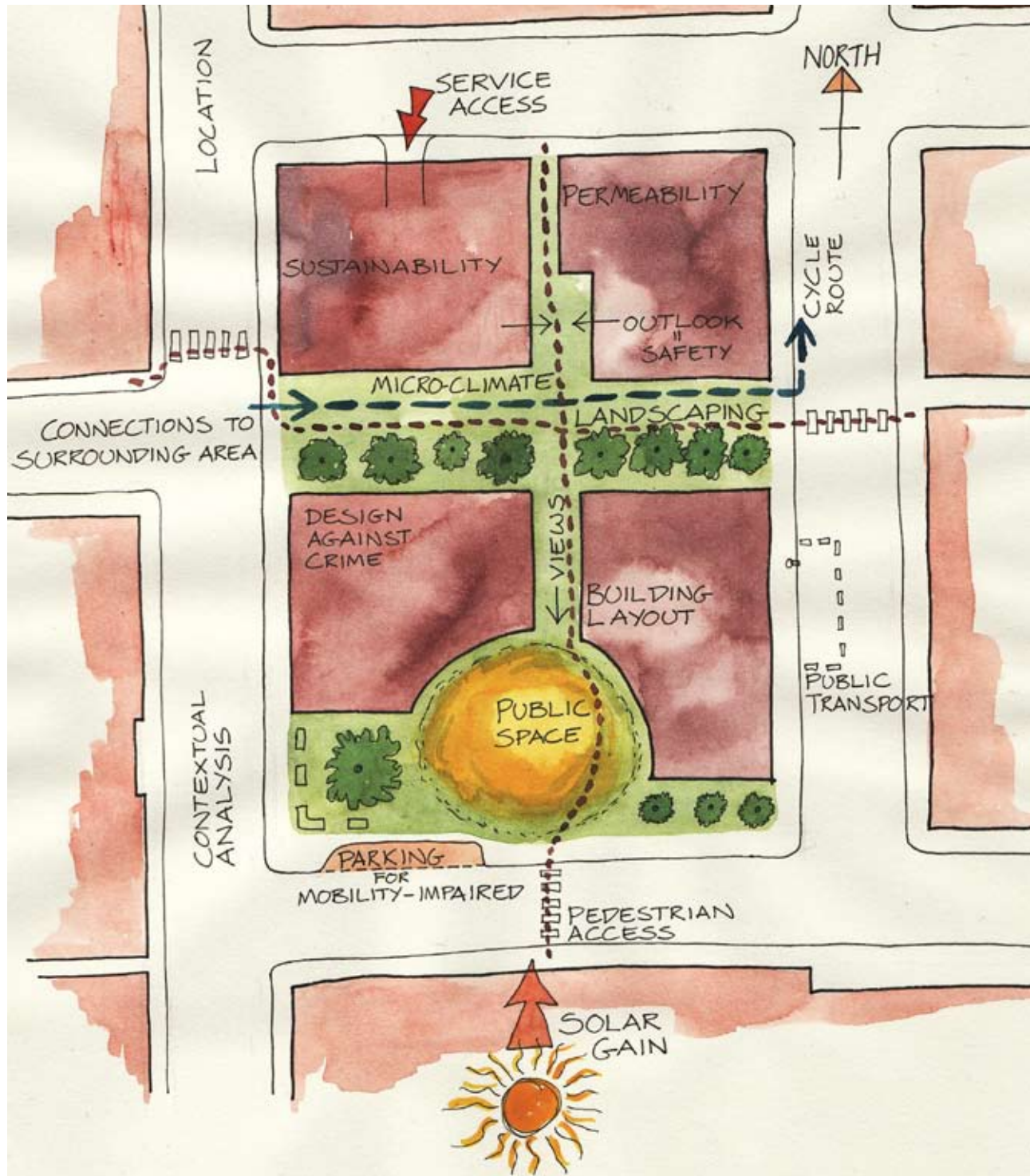
4.1.3 ■ Layout

The layout comprises the location of buildings and spaces and determines how these relate to one another. The emerging Southwark Plan policy 3.13 – Urban design, describes site layout as: “Building location, public spaces, microclimate, and outlook, site access and servicing, permeability, safety and ease of movement including vehicular, pedestrians and cyclists”. Design and access statements should include

- ✓ A description of the layout. A diagram of the site layout is also recommended, especially for the larger schemes. Diagram 2 provides a good practice example of a site layout diagram. For outline applications where layout is reserved, the design and access statement should provide information on the approximate location of buildings, spaces and movement routes in the development. The statement should explain and justify the principles behind the approximate layout and explain how these principles will inform the detailed design
- ✓ An explanation and justification of the principles behind the choice of layout for the development
- ✓ Consideration of the context of the development and physical connections with the surrounding area

- ✓ Consideration of ease of movement for cyclists and pedestrians. Priority should be given to movement by foot, cycle and public transport. The impacts of parking provision should be minimised, and convenient, secure cycle parking provided. The statement should also explain the movement patterns for servicing and site access
- ✓ Demonstration that the development is accessible by all of the community, regardless of mobility or disability
- ✓ An explanation of how the development creates a safe and secure environment. Consideration should be given, for example, to increasing natural surveillance with open spaces overlooked by windows, preventing dark secluded areas and ensuring footpaths have clear visibility. Developments should be designed to improve community safety and crime prevention. This may include obtaining Secured by Design certification
- ✓ An explanation of the orientation of buildings. It is important, particularly for residential developments, to maximise good sunlight and daylight and passive solar heating, and to take advantage of interesting views. The site layout can affect the microclimate. Good design can reduce harmful impacts through careful consideration of the location of buildings and landscaping
- ✓ Consideration of where to position waste disposal, composting and recycling facilities. The layout and design needs to ensure they are easily and safely accessible and improve local amenity
- ✓ Demonstration of how the development maximises energy efficiency and usage of renewable energy resources, and minimises carbon dioxide emissions. Consideration should be given from the outset to the most feasible means of increasing energy efficiency, including, for example, the use of combined heat and power (CHP)
- ✓ Consideration of the positioning of cables enabling satellite dishes, ensuring local amenity is not harmed
- ✓ Consideration of where to locate water butts, and how to prevent problems, such as flooding and water pollution, arising from increased surface run-off. Careful design, particularly in relation to non-permeable surfaces such as roads and paving, can mitigate the problem at an early stage of the development. Applicants need to consider incorporating sustainable urban drainage systems into their design, especially applicants for major developments.

Diagram 2 – An example of a diagram showing layout of a development



4.1.4 ■ Scale

The scale of the development refers to the size of buildings and spaces and includes building height, width and length. The scale of buildings and spaces will be set out in the planning application. Design and access statements should include

- ✓ A description of the relationship between the proposed scale of the new development and that of the surrounding buildings and area. Diagram 3 illustrates how the scale of the new development should be in keeping with the surrounding buildings in terms of scale and building lines
- ✓ Consideration of the 3-dimensional massing of buildings and spaces. Computer graphics and plans sometimes distort buildings and so applicants need to ensure that where appropriate, the statement offers a realistic image of the 3-dimensional development
- ✓ A description and explanation of the size of the buildings and spaces and how they relate to human scale. This should include the scale of parts of a building such as detailing, doors and windows
- ✓ An assessment of the impact of the development on the skyline, where appropriate. Policy 3.20 of the emerging Southwark Plan sets out the council's approach to tall buildings and the design requirements for tall buildings in the borough
- ✓ A description, in outline applications with scale as a reserved matter, of the parameters for the upper and lower limits of the height, width and length of each building. The design and access statement needs to explain and justify the principles behind the upper and lower limits and demonstrate how this will inform the final scale of the development.

Diagram 3 – An example of looking at the scale and building lines of a new development

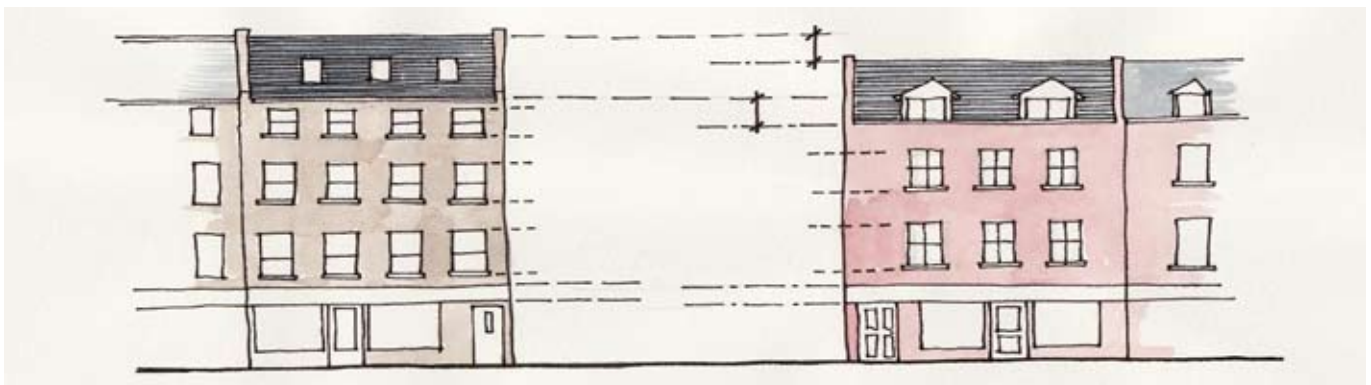




Image 1 - Example of hard landscaping



Image 2 - Examples of soft landscaping

4.1.5 ■ Landscaping

Landscaping refers to the treatment of both public and private spaces. The design and access statement should include

- ✓ An explanation of the purpose and function of the landscaping including stating the amount of outdoor space and whether it is private or public space
- ✓ An explanation of the relationship between the landscaping and the surrounding area
- ✓ An explanation of the commitment to maintaining the landscaping
- ✓ An explanation of how the landscaping improves the safety and security of the development, for example by not creating dark or heavily shaded areas, and defensive planting using “anti-social” plants, for example, holly, roses, sloe and hawthorn to deter the use of shrubberies as hiding places
- ✓ An explanation of how the landscaping improves access for all and meets the needs of disabled or less mobile people, for example by providing benches as rest places and incorporating ramps
- ✓ Consideration of including a planting schedule, planting plan and a hard landscaping plan as well as an explanation of why hard and soft landscaping materials have been selected
- ✓ Consideration of landscaping for outline planning applications, with landscaping as a reserved matter. The applicant does not need to provide specific information on landscaping, but do need to explain and justify the principles that will inform later landscaping decisions

4.1.6 ■ Appearance

The appearance of the development refers to the visual impression of the buildings and spaces.

The whole design process affects the appearance, with all the decisions made about use, amount, layout, scale and landscaping feeding into the decisions about appearance.

The design and access statement must demonstrate how the appearance of the proposed development relates to the appearance and character of the surroundings. It should include information on

- ✓ Architecture. The council do not prescribe a particular style of architecture. The design and access statement should explain how the development relates visually to its surroundings. New architectural styles and innovative designs are encouraged where they positively contribute to the appearance of the area. Images 3 and 4 demonstrate examples of different architectural styles using different materials, contrasts and treatment of the elevations
- ✓ Materials. The development should use high quality materials which are durable and withstand weathering. Where graffiti is likely to be a problem, resistant materials should be used. Consideration should be given to improving accessibility. For example floor materials in public areas, or areas likely to be used by people with disabilities, should be slip resistant. The use of recycled or renewable materials can also help to produce more energy efficient developments. Materials should be sustainable and help to reduce the carbon footprint of the building

Images 3 and 4 - Buildings with a positive visual appearance



- ✓ Elevational treatment. Developments should have attractive and appropriately detailed front elevations which actively address the street, with well-proportioned windows and entrances
- ✓ Lighting. Lighting should be of a standard that prevents the creation of dark, shadowed areas. Innovative lighting proposals can help animate and add interest to developments
- ✓ Colour and texture. These should contribute to the richness of the proposed buildings and the vitality of the surrounding townscape
- ✓ Renewable energy technologies. It is important that these are considered from the start of the design process. Used innovatively, renewable energy technologies should become integral to the design and the appearance of the building, rather than an add-on
- ✓ The historic context. The statement should address the impacts of the proposals on the historic environment, (including conservation areas or listed buildings, or where the setting of these would be affected)
- ✓ The proposed appearance of the development for outline applications. With outline applications with appearance as a reserved matter, the applicant does not need to go into detail on the appearance but does need to explain and justify the principles behind the intended appearance and how it will inform the final design of the development.

4.1.7 ■ Access

Whilst access must be considered at every stage of the design process and is integral to many of the aspects described above, a further section on access is required to ensure that this is considered in its entirety.

Applicants should address the following issues

- ✓ Relevant national, regional and local development documents which have been taken into account and have informed the policy approach taken to access
- ✓ Any consultation undertaken with regard to access to the development and how the responses have been taken into consideration in the access arrangements for the development
- ✓ Ease of movement across the site for people with disabilities, parents with prams, the elderly and the infirm
- ✓ An explanation of how people will travel to the development, including information about public transport, pedestrian access and provision for cyclists
- ✓ Ease of access to parking provision for disabled people, people with restricted mobility and parents with pushchairs
- ✓ An explanation of how access will be maintained through the lifetime of the development.

For outline applications, where access is a reserved matter, the planning application still needs to indicate the location of points of access to the site. The design and access statement should build on this to explain the principles which will be used to inform the access arrangements for the final development.

It is good practice for the design and access statement to explain briefly how the buildings meet the requirements of Part M (Access to and use of buildings) of the Building Regulations 2000 through the use of text, drawings or computer generated images, depending on the scale and complexity of the application. Appendix D sets out the sections of Part M which are applicable to some applications. The explanation of how Part M is met can be in the form of text, drawings or computer generated images, depending on the scale and complexity of the application.

5. Policy context

The design and access statements SPD has been developed within the context of national, regional and local planning frameworks.

5.1 Background to the legislation

Section 42 of the Planning and Compulsory Purchase Act, 2004 replaces section 62 of the Town and Country Planning Act, 1990 and amends section 10 of the Listed Buildings Act requiring the provision of a design and access statement. Section 42 also inserts a new section 327A into the 1990 Act, which prohibits, among other things, a local planning authority from entertaining an application unless it is accompanied by a design and access statement, where required. This legislation came into effect on 10 August 2006.

New article 4C of the Town and Country Planning (General Development Procedure) (Amendment) (England) Order 2006 (the GDPO) and regulation 3A of the Listed Buildings Regulations (1990) set out the detailed requirements for planning permissions and listed building consents. The GDPO requires the statement to explain the design principles and concepts that have been applied to certain aspects of the development: amount, layout, scale, landscaping and appearance. The GDPO requires demonstration of the steps taken to appraise the context of the development. The policy approach taken to access also needs to be taken into account. The Disability Discrimination Act, 1995 reiterates the GDPO in the need to ensure disabled people have equal access to developments.

The Department for Communities and Local Government Circular 01/2006: Guidance on changes to the development control system provides additional advice on how to write a design and access statement.

5.2 National planning guidance

The principal Planning Policy Guidance notes and Planning Policy Statements that relate to this SPD are

PPS 1 (2005): Delivering Sustainable Development

PPS 1 states that sustainable development is the core principle underpinning planning (paragraph 3) and requires high quality development through good and inclusive design (paragraph 5). It states that good urban design is indivisible from good planning

(paragraph 33). It requires planning authorities to prepare robust policies on design and access including ensuring that developments create safe and accessible environments (paragraph 36).

PPS 3 (2006): Housing

PPS 3 places a strong emphasis on achieving high quality housing. Paragraphs 12-19 set out the importance of good design quality including integration with neighbouring buildings, easy accessibility, creating a distinctive character and ensuring access to open spaces.

PPG 15 (1994): Planning and the Historic Environment

It requires that the protection of the historic environment, to include listed buildings and conservation areas, needs to be taken into account when determining applications (paragraph 2.12).

5.3 Regional planning guidance

The London Plan (2004) places good design as central to all the objectives of the plan. The following policies are specifically relevant to the SPD

Policy 4B.1 Design principles for a compact city. This sets out the principles which should be used when assessing planning applications and requires an urban design statement to be submitted with proposals to show how the principles have been incorporated

Policy 4B.2 Promoting world-class architecture and design.

This seeks to promote world-class design through the collaboration with partners to improve the public realm and promote community involvement

Policy 4B.4 Enhancing the quality of public realm. This seeks to develop a coherent and strategic approach to the public realm and works to ensure the public realm is accessible to all

Policy 4B.5 Creating an inclusive environment. This states that all future development will need to meet the highest standards of accessibility and inclusion. It also requires proposals to include an

access statement to show how the principles of inclusive design have been integrated into the development

Policy 4B.6 Sustainable design and construction. This seeks to ensure developments meet the highest standards of sustainable design and construction

Policy 4B.10 London's built heritage. This seeks to protect and enhance London's historic environment

Policy 4C.10 Historic environment. This states that careful consideration must be given to the relationship between new development and the historic environment. The tidal foreshore is of particular importance and development should also respect waterway heritage.

A full list of relevant policies in the London Plan is set out in Appendix F.

5.4 Southwark's planning policies

The council's current development plan for Southwark is the adopted Unitary Development Plan (1995) and the London Plan (2004). However, at its meeting on June 29 2006 the council resolved to adopt the modifications to the Southwark Plan for the purposes of consultation. Therefore with a small number of exceptions, the policies in the Southwark Plan now have significant weight in the determining of planning applications. Whilst the 1995 Unitary Development Plan remains the statutory development plan until such time as the Southwark Plan is formally adopted it is likely that, in determining pending applications, the council will give predominant weight to Southwark Plan policies. On formal adoption the policies in the Southwark Plan will be applied unless material considerations indicate otherwise. The adopted 1995 Unitary Development Plan has a series of policies relating to urban design, specifically the following policies

Objective E.2. This seeks to create attractive, well-designed buildings, streets, squares and other urban spaces and to ensure the satisfactory functioning and accessibility of the urban environment for everybody.

Policy E.2.1 Layout and building line. This requires new developments to respect established traditional street layouts.

Policy E.2.2 Heights of buildings. This states that new developments need to be of an appropriate height to fit in with their surroundings.

Policy E.2.3 Aesthetic control. This requires developments to display a high standard of design

Policy E.2.4 Access and facilities for people with disabilities. This requires developments to make access provision for people with disabilities.

Policy E.2.5 External space. This advocates developments displaying a high standard of landscape and townscape design.

Policy E.3.3 Environmental assessment. This states that for major developments or developments in sensitive locations developers are required to submit a comprehensive environmental statement.

A full list of relevant policies in the adopted UDP is set out in Appendix F.

The key policies in the emerging Southwark Plan (2006) relating to this SPD are

Strategic Policy 1 Sustainability, equality and diversity.

This states that all land use decisions must achieve or contribute towards sustainable development.

Strategic Policy 2 Participation. This says that all 6 equalities target groups should have opportunities to participate fully in planning decisions that affect their quality of life.

Strategic Policy 3 Quality and accessibility. This states that all developments should be accessible.

Policy 3.11 Efficient use of land. This looks to ensure that developments maximise the efficient use of land. Developments also need to positively respond to the local context and comply with all policies relating to design, and ensure that the scale of the development is appropriate to the availability of public transport and other infrastructure.

Policy 3.12 Quality in design. This states that a design statement must be submitted with planning applications for all development.

Policy 3.13 Urban design. This places a continued emphasis on good design and lists many factors that new developments must give consideration to such as providing active frontages, the scale and massing of buildings, site layout and landscaping.

Policy 3.14 Designing out crime. This states that development should be designed to improve community safety and crime prevention by including design solutions such as natural surveillance and permeable pedestrian routes.

Policy 3.15 Conservation of the historic environment. This indicates that development should preserve or enhance the appearance of historical or architectural significant buildings or areas.

Policy 3.16 Conservation areas. This states that within conservation areas development should preserve or enhance the character or appearance of the area.

Policy 5.2 Transport impacts. This states that planning permission will not be granted where there is an adverse impact on transport networks or inadequate provision for servicing and access to, from and through the site.

A full list of relevant policies in the emerging Southwark Plan is set out in Appendix F.

Southwark Council previously put a draft Design SPD out to consultation in 2002. This SPD replaces the 2002 draft to take into account changes in legislation, new national guidance, the 2004 adoption of the London

Plan, and the policies and comments on the emerging Southwark Plan design policies. It also takes into account Southwark's Statement of Community Involvement, which sets out when and how the council will involve the community in the alteration and development of planning documents and applications for planning permission.

Appendices

Appendix A

Design and access statement checklist

Design and access statements need to explain the evolutionary process of the development and its final design, how the development has looked at use, amount, layout, scale, landscaping and appearance, and how accessibility has been optimised.

The checklist below summarises these points and the applicant should ensure that all the questions are answered before submitting an application.

Planning officers will use this checklist to ensure that all aspects of design are addressed.

Where certain design and access requirements are covered through other documents such as a sustainability assessment or a statement on Section 106 planning contributions, applicants need to make this clear and officers can refer to the document in the comments section.

Checklist	Yes/ No	Comments
Stages in the process Does the statement demonstrate that the design has evolved through an assessment-involvement-evaluation-design process?		
Has the site's full context been assessed to include the physical, social and economic characteristics, and relevant planning policies?		
Use Does the use comply with land use policies?		
Does the statement show how the use fits in with the surrounding context and uses?		
Does it demonstrate whether mixed- use development has been considered?		
Amount Does the statement demonstrate how the amount is appropriate to the site and its surroundings?		
Does it show how the development will be distributed appropriately across the site?		
Layout Does the statement show how the site connects and interacts with neighbouring spaces and buildings?		
Does the statement show how the site is accessible and easy to move through for all of the community, regardless of mobility or disability?		
Does the statement demonstrate how a safe environment is created with measures to design out crime?		
Does the statement demonstrate that sustainable use of energy, water and waste have been considered?		

Checklist	Yes/ No	Comments
Scale Does it show how the buildings and their doors, windows and components are of a comfortable scale for people?		
Does the statement show how the scale of the development fits in with the surrounding area?		
Landscaping Does the statement demonstrate how the landscaping makes the site attractive and safe?		
Does the statement show how the landscaping improves access across the site for all, including disabled and or less mobile people?		
Appearance Does the statement show how the appearance of the development visually relates to its surroundings?		
Does it demonstrate how works involving a listed building or conservation area preserve the building or area and its features of special architectural and historic interest?		
Access Is the policy approach taken to access explained?		
Does it explain how Part M of the building regulations is met?		
Does the statement demonstrate that it is easy to move around the development?		

Appendix B

Glossary

Accessibility

Accessibility is defined as the methods by which people with a range of needs especially those from the six equality target groups (race, gender, age, faith, sexuality and disability) find out about and use services and information. For disabled people, access in London means the freedom to participate in the economy, in how London is planned, in the social and cultural life of the community, as well as physical access. The term is also used to describe how easy a location is to get to by public or private transport.

Amenity

Pleasant or advantageous features enjoyed by a property or occupier which can be affected by certain development proposals. Development can improve amenity as well as harm it.

Amount

In relation to residential development, amount refers to the number of proposed units for residential use. In relation to all other forms of development, amount refers to the proposed floor space for each proposed use forming part of the development.

Appearance

The visual impression of the buildings and spaces.

Archaeological priority zones

These are areas where there is potential for significant archaeological remains, and planning applications within these areas must be accompanied by an archaeological assessment and evaluation of the site, including the impact of the proposed development.

Building regulations

Building regulations set standards for the design and construction of buildings to ensure the safety and health for people in or about those buildings.

Community strategy

A statutory document which sets out Southwark's hopes and visions for the future and what needs to happen to achieve them.

Conservation areas

An area of special architectural or historic interest designated by the local planning authority under the provisions of the Planning (Listed Buildings and Conservation areas) Act 1990, the character or appearance of which it is desirable to preserve or enhance.

Density

A measure of the intensity of development of a residential site.

Design

Design is the relationship between different buildings and streets, squares, parks and waterways and other spaces that make up the public domain; the nature and quality of the public domain itself; the relationship of one part of an urban area to another; and the pattern of movement and activity.

Design and access statement

A design and access statement is a legal requirement for the majority of planning applications. It explains the evolutionary process of the development, how the design of the proposal has taken into account its surrounding area, and how everyone, including disabled people will be able to use the building.

Development

As defined by Section 55 of the Town and Country Planning Act 1990, development means carrying out

building, engineering, mining or other operations in, on, over or under land, or changing the use of buildings or land.

Disabled person

The Disability Discrimination Act (DDA) 1995 defines a disabled person as someone with a 'physical or mental impairment which has a substantial and long term adverse effect on his/her ability to carry out normal day-to-day activities'.

Energy efficiency

Making the best or most efficient use of energy in order to achieve a given output of goods or services, and of comfort and convenience. This does not necessitate the use of less energy, in which respect it differs from the concept of energy conservation.

Environment

Surrounding area or conditions in which something exists or lives.

Full planning application

A full planning application requires the submission of all the details of the proposal.

Landscaping

The treatment of public and private spaces to enhance or protect the site and its surroundings.

Layout

The way in which buildings, movement routes and open spaces are provided, placed and orientated in relation to each other and buildings and spaces surrounding the development.

Legibility

A place that has a clear image and is easy to understand, with recognisable routes, intersections and landmarks to help people find their way around.

Local Development Framework (LDF)

A portfolio of documents including Supplementary Planning Documents, Development Plan Documents such as a Core Strategy and proposals map, and the Statement of Community Involvement. Together the portfolio of documents covers the whole of the Borough, and gives comprehensive policy coverage at a detailed level.

London Plan

Statutory plan produced by the Greater London Authority which sets out an integrated social, economic and environmental framework for the future development of London for the next 15-20 years. Alongside the Unitary Development Plan it forms the development plan for Southwark.

Major developments

Any residential or mixed use development creating 10 or more dwellings, if that is not known, where the site area is 0.5 hectares or more. For other types of development, a major site is one where the floor space to be built is 1,000 square metres or more, or the site area is 1 hectare or more.

Massing

The combined effect of the height, bulk and silhouette of a building or group of buildings.

Material consideration

A legal term describing a matter or subject which is relevant (material) for a local authority to consider when using its powers under planning law.

Microclimate

Where the climate differs from the surrounding area. Design can create microclimates by affecting the temperature, sunlight and wind movement.

Mixed-use

Development comprising one or more activities within the same building or site, or across sites in close proximity to one another.

Outline planning application

An outline planning application finds out whether a proposal is acceptable in principle. Reserved matters (details) can be applied for with a subsequent reserved matters application once outline permission has been granted. Reserved matters can include layout, scale, appearance, access and landscaping.

Permeability

Places and buildings which connect with each other and are easy to move through, putting people before traffic and integrating land uses and transport.

Public Realm

The space between and within buildings that is publicly accessible or visible, including streets, squares, forecourts, parks and open spaces.

Public transport accessibility zones

Public transport accessibility zones are areas within the urban or suburban zones which have: better access to public transport, significant potential for new development and investment and a mixed use character including significant retail development.

Recycling

Recycling involves the reprocessing of wastes, either into the same material (closed-loop) or a different material (open-loop recycling). Commonly applied to non-hazardous wastes such as paper, glass, cardboard, plastics and metals. However, hazardous wastes (e.g. solvents) can also be recycled by specialist companies, or by in-house equipment.

Renewable energy

Energy derived from a source which is continually replenished, such as wind, wave, solar, hydroelectric and energy from plant material.

Scale

Scale is the height, width and length of a building in relation to its surroundings.

Secured by design

A police initiative to encourage the building industry to adopt crime prevention measures in development design to assist in reducing the opportunity for crime and the fear of crime, creating a safer and more secure environment. Secured by design is endorsed by the Association of Chief Police Officers (ACPO), and has the backing of the Home Office Crime Reduction Unit.

Statement of Community Involvement

The Statement of Community Involvement specifies how Southwark intends to involve communities and stakeholders in the process of preparing Local Development Framework documents and processing planning applications.

Supplementary planning document (SPD)

A supplementary planning document expands or add details to existing policies in the Unitary Development Plan or in development plan documents as part of the Local Development Framework.

Sustainability

Taking social, environmental and economic factors into consideration to ensure that development meets the needs of the present without compromising the ability of future generations to meet their own needs.

Tall Buildings

Tall Buildings are those that exceed 30 metres in height, or 25 metres in the Thames Special Policy Area, or that are significantly taller than their surroundings.

Topography

Topography is the relief, vegetative and human-made features of the landscape to include the site gradient and existing vegetation cover.

Unitary Development Plan (UDP)

Statutory plans produced by each borough which integrate strategic and local planning responsibilities through policies and proposals for the development and use of land in their area.

Use

The type of development proposed, for example, residential, retail, offices or industrial use.

Appendix C

Conservation of fuel and power in part L of the building regulations

The Building Regulations - Approved Document L was implemented in April 2006 and divided into four documents

- L1A – Conservation of fuel and power in new dwellings
- L1B – Conservation of fuel and power in existing dwellings
- L2A – Conservation of fuel and power in new buildings other than dwellings
- L2B – Conservation of fuel and power in existing buildings other than dwellings.

The Approved Documents L1A and L2A set to reduce carbon dioxide emissions for whole new buildings. This performance-based approach will offer designers the flexibility to choose solutions that best meet their needs, and that are cost-effective and practical. The tools to calculate the carbon emission rate is SAP 2005 for new dwellings up to 450m² and SBEM for new larger dwellings and new non domestic buildings.

Under the Building Regulations 2000 (as amended) requirements were made for all new buildings to ensure that a pressure test of the structure was undertaken and a certification from a registered person was provided. In addition requirements were made for all new buildings to have all their fixed building services commissioned.

L1B and L2B offer guidance on an elemental approach to show compliance. The main technical changes comprise a general improvement in the performance standard that are considered reasonable for work on thermal elements, windows, doors, heating, hot water, ventilation and lighting system in existing buildings.

Under the Building Regulations 2000(as amended) requirements were made that where an existing building with a total useful floor area over 1000m² has proposed works consisting of or including an extension, initial provision of any fixed building service or increase to the installed capacity of any fixed building service then at least 10% of the value of the principal work must be spent on consequential improvements on the existing building.

The Building Regulations Approved Documents L1A, L2A, L1B, L2B
<http://www.planningportal.gov.uk/england/professionals/en/1115314110382.html>

The Building Regulations 2000 (as amended)
<http://www.opsi.gov.uk/si/si2000/20002531.htm>

Appendix D

The access element for building regulations approval

It is recommended that the design and access statement briefly explains how the buildings meet the requirements of Part M (Access to and use of buildings) of the Building Regulations 2000. Not all sections will be relevant to all planning applications. Part M is listed below

Section 1: Access to buildings other than dwellings

Objectives

- Level approach from the boundary of site and car parking
- On-site car parking and setting down
- Ramped access
- Stepped access
- Handrails to external stepped and ramped access
- Hazards on access routes.

Section 2: Access into buildings other than dwellings

Objectives

- Accessible entrances
- Doors to accessible entrances
- Manually operated non-powered entrance doors
- Powered entrance doors
- Glass entrance doors and glazed screen
- Entrance lobbies.

Section 3: Horizontal and vertical circulation in buildings other than dwellings

Objectives

- Entrance hall and reception area
- Internal doors
- Corridors and passageway
- Internal lobbies
- Vertical circulation within the building
- Provision of lifting devices
- General requirements for lifting devices
- Passenger lifts
- Lifting platforms
- Wheelchair platform stair lifts

- Internal stairs
- Internal ramps
- Handrails to internal steps, stairs and ramps.

Section 4: Facilities in buildings other than dwellings.

Objectives

- Audience and spectator facilities
- Refreshment facilities
- Sleeping accommodation
- Switches, outlets and controls
- Aids to communication.

Section 5: Sanitary accommodation in buildings other than dwellings

Objectives

- Sanitary accommodation generally
- Provision of toilet accommodation
- Wheelchair-accessible unisex toilets
- Toilets in separate-sex washrooms
- Wheelchair-accessible changing and shower facilities
- Wheelchair-accessible bathrooms.

Section 6: Means of access to and into dwellings

Objective

- Approach to the dwelling
- Level approach
- Ramped approach
- Stepped approach
- Approach using a driveway
- Access into the dwelling
- Entrance doors.

Section 7: Circulation within the entrance storey of the dwelling

Objective

- Corridors, passageways and internal doors within the entrance storey
- Vertical circulation within the entrance storey.

Section 8: Accessible switches and socket outlets in the dwelling

Objective

- Switches and socket outlets for lighting and other equipment should be located so that they are easily reachable.

Section 9: Passenger lifts and common stairs in blocks of flats

Objectives

- Common stairs
- Lifts.

Section 10: WC provision in the entrance storey of the dwelling

Objectives

- Provide WC in the entrance storey. Where the entrance storey contains no habitable rooms it is reasonable to provide a WC in either the entrance storey or the principal storey.

Appendix E

Sources of additional information

Southwark policy and guidance

London Borough of Southwark, 2006. Statement of Community Involvement. See www.southwark.gov.uk/YourServices/planningandbuildingcontrol/localdevelopmentframework/SCI.html

London Borough of Southwark Council, 1995. Adopted Unitary Development Plan. See www.southwark.gov.uk/YourServices/planningandbuildingcontrol/planpolpublications/

London Borough of Southwark, 2006. The emerging Southwark Plan (Unitary Development Plan). See link to website once updated.

Southwark Alliance, October 2005. Draft Community Strategy 2006 – 2016. See <http://www.southwarkalliance.org.uk/documents/index.htm>

Regional guidance

Mayor of London, February 2004. The London Plan. Spatial Development Strategy for Greater London. See www.london.gov.uk/mayor/strategies/sds/index.jsp

National policy and guidance

Office of the Deputy Prime Minister, 2005. Planning Policy Statement 1: Delivering Sustainable Development. See www.communities.gov.uk/index.asp?id=1143808

Department for Communities and Local Government, November 2006. Planning Policy Statement 3: Housing

Office of the Deputy Prime Minister, 1994. Planning Policy Guidance Note 15: Planning and the Historic Environment. See <http://www.communities.gov.uk/index.asp?id=1144040>

Town and Country Planning (General Development Procedure) (Amendment) (England) Order, 2006. See www.opsi.gov.uk/SI/si2006/20061062.htm

The Department for Communities and Local Government, June 2006. Circular 01/2006: Guidance on changes to the development control system. See <http://www.communities.gov.uk/index.asp?id=1500620>

Planning and Compulsory Purchase Act, 2004. See www.opsi.gov.uk/acts/acts2004/20040005.htm

Part M (Access to and use of buildings) of the Building Regulations 2000 (2004 Edition). See www.planningportal.gov.uk/uploads/br/BR_PDF_ADM_2004.pdf

Other guidance

Commission for Architecture and the Built Environment, 2006. Design and access statements. How to write, read and use them. See <http://www.cabe.org.uk/default.aspx?contentitemid=1436>

Appendix F

Further relevant policies

In addition to the policies set out in the policy background section of this SPD, the following policies are relevant:

The London Plan (2004)

Policy 2A.1 Sustainability criteria. This sets out the criteria the Mayor will use when considering applications referred to him, including ensuring developments are in accessible locations and that they take account of the physical constraints on the development of land.

Policy 3A.14 Addressing the needs of London's diverse population. This requires UDP policies to identify the needs of the diverse groups in their area.

Policy 3C.1 Integrating transport and development. This seeks to ensure the integration of transport and development.

Policy 4B.7 Respect local context and communities. This states that local communities will be worked with to recognise and manage local distinctiveness.

Policy 4B.8 Tall buildings – location. This seeks to promote the development of tall buildings.

Policy 4B.9 Large-scale buildings – design and impact. This states that all large-scale buildings should be of the highest quality design.

Policy 4B.11 Heritage conservation. This seeks to ensure that boroughs protect and enhance their historic assets.

Policy 4B.14 Archaeology. This seeks to support the identification, protection, interpretation and presentation of London's archaeological resources.

Policy 4B.15 London view protection framework. This sets out protection of London's strategically important views.

Policy 4B.17 Assessing development impact on designated views. This sets what the Mayor's and boroughs' approaches will normally be in terms of making a decision on an application within the landmark viewing corridors.

The adopted Unitary Development Plan (1995):

Policy E.1.1 Safety and security in the environment. This seeks to enhance the safety and security of developments.

Policy E.4.1 Conservation areas. This seeks to preserve and enhance the character and appearance of conservation areas.

Policy E.4.2 Proposals affecting conservation areas. This states when demolition within conservation areas will be permitted.

Policy E.4.4 Protection of buildings of special architectural or historical interest. This states when the council will make recommendations to statutorily list buildings.

Policy E.4.6 Proposals affecting listed buildings. This states when Listed Building Consent and planning permission for development affecting the building or area will be accepted.

Policy C.7.1 Accessibility. This seeks to ensure adequate access for people with disabilities, elderly people and carers with children.

Policy T.1.3 Design of development and conformity with council standards and controls. This states that development will not normally be permitted if it does not meet the council's standards and controls for off-street parking, and servicing, refuse storage and removal.

The emerging Unitary Development Plan (the emerging Southwark Plan, 2006)

Policy 3.1 Environmental effects. This states that planning permission will not be granted for the establishment of uses that would have material adverse effects on the environment.

Policy 3.2 Protection of amenity. This restricts planning permission from being granted should the development cause loss of amenity for occupiers in the surrounding area.

Policy 3.4 Energy efficiency. This states that all developments must be designed to maximise energy efficiency and reduce energy consumption and carbon dioxide emissions.

Policy 3.5 Renewable Energy. This requires major developments to draw 10% of their energy requirements from renewable energy sources.

Policy 3.6 Air Quality. This does not allow development that would lead to a reduction in air quality.

Policy 3.7 Waste Reduction. This requires adequate provision of recycling, composting and residual waste facilities.

Policy 3.9 Water. This seeks to ensure new development does not result in an increase in surface run-off.

Policy 3.17 Listed Buildings. This sets out the guidance for alterations, extensions and demolition of listed buildings.

Policy 3.18 Setting of listed buildings, conservation areas and world heritage sites. This recognises the importance of Southwark's built heritage and seeks to safeguard this asset.

Policy 3.19 Archaeology. This sets out that applications affecting sites within Archaeological Priority Zones must be accompanied by an archaeological assessment and evaluation of the site. It must protect and safeguard archaeological remains.

Policy 4.1 Density of residential development. This refers to the residential density for different zones of the borough.

Policy 5.1 Locating developments. This states that the location of development must be appropriate to the size and trip generating characteristics of the development.

Policy 5.3 Walking and cycling. This seeks to ensure there is adequate provision for pedestrians and cyclists within the development, including good design.

Policy 5.6 Car parking. This sets out maximum numbers of car parking spaces.

Policy 5.7 Parking standards for disabled people and the mobility impaired. This states that developments must provide adequate provision for disabled people and the mobility impaired.

Contact us

Planning policy and research team, regeneration and neighbourhoods, Southwark Council, Chiltern, Portland Street, London SE17 2ES

Any enquiries relating to this document can be directed to planning policy and research team, Southwark Council. Email planningpolicy@southwark.gov.uk, Tel 020 7525 5614 or 020 7525 5418

This document can be viewed at www.southwark.gov.uk/yourservices/planningandbuildingcontrol/planningpolicy/DesignandAccessSPD

If you require this document in large print, braille or audiotape please contact us on 020 7525 5548.

Arabic

هذه الوثيقة أعدت من قبل فريق سياسة تخطيط بلدية ساوثارك.
هذه الوثيقة ستأثر على القرارات التي اتخذت حول تخطيط وتطوير إستعمال الأرض في ساوثارك.
أردت أن تطلب المزيد من المعلومات أو من الاستشارة بلغتك يرجى القيام بزيارة دكان (وان ستوب شوب) وأعلم الموظفين هناك لغة التي تريدها. إن عناوين دكاكين (وان ستوب شوب) موجود في أسفل هذه الصفحة

Bengali

সাদ্দার্ক কাউন্সিলের প্ল্যানিং পলিসি টিম এই দলিলটি প্রকাশ করেছেন। এই দলিলটি সাদ্দার্ক জমি ব্যবহারের পরিকল্পনা ও উন্নয়ন সম্পর্কে সিদ্ধান্তগুলির উপর প্রভাব রাখবে। আপনি যদি আপনার ভাষায় অতিরিক্ত তথ্য ও পরামর্শ চান তাহলে অনুগ্রহ করে ওয়ান স্টপ শপে যান এবং কি ভাষায় এটা আপনার দরকার তা কর্মচারীদের জানাবেন। ওয়ান স্টপ শপগুলোর ঠিকানা এই পৃষ্ঠার নিচে দেয়া হল।

French

Ce document est produit par l'équipe de la politique du planning de la mairie de Southwark. Ce document affectera les décisions prises sur le planning de l'utilisation des terrains et du développement dans Southwark. Si vous avez besoin de plus de renseignements ou de conseils dans votre langue, veuillez vous présenter au One Stop Shop et faire savoir au personnel la langue dont vous avez besoin. Les adresses des One Stop Shops sont au bas de cette page.

Somali

Dukumeentigan waxa soo bandhigay kooxda Qorshaynta siyaasada Golahaasha Southwark. Dukumeentiga wuxuu saamaynayaa go'aanaddii lagu sameeyey isticmaalka dhuulka ee qorshaynta iyo horumarinta ee Southwark. Haddii aad u baahan tahay faahfaahin dheeraad ah ama talo ku saabsan luqadaada fadlan boo dukaanka loo yaqaan (One Stop Shop) xafiiska kaalmaynta kirada guryaha shaqaalaha u sheeg luqada aad baahan tahay. Cinwaanada dukaamada loo yaqaan (One Stop Shops) xafiisyada kaalmaynta kirada guryaha waa kuwan ku qoran bogan hoosteedda.

Spanish

Este documento ha sido producido por el equipo de planificación de Southwark. Este documento afectará las decisiones que se tomarán sobre uso de terrenos, planificación y desarrollo en Southwark. Si usted requiere más información o consejos en su idioma por favor visite un One Stop Shop y diga a los empleados qué idioma usted requiere. Las direcciones de los One Stop Shops están al final de esta página.

Tigrinya

እዚ ሰነድ (ጽሑፍ) ብሳዕዳይ ካውንስል (Southwark) ናይ ውጥን መምርሒ ጉጅለ ዝተዳለወ እዩ ። እዚ ሰነድ ኣብ ሳዕዳይ ናይ መሬት ኣጠቓቕማ መደብን ስብዕታን ኣብ ዝግበሩ ውሳኔታት ለውጢ ከምጽእ ይኽእል ኢዩ ። ተወሳኺ ኣብራሃን ምኽርን ብቋንቋኹም እንተደለኹ ናብ ዋን ስኡፕ ሾፕ (one stop shop) ብምኽድ ንጎረብቡም ሰራሕተኛ ትደልይዎ ቋንቋ ንገርዎ ። ናይ ዋን ስኡፕ ሾፕ ኣድረሻ ኣብ ታሕቲ ተጻሒፉ ይርከብ ።

Peckham one stop shop, Peckham Library, Peckham Hill Street, SE15 5JR. Walworth one stop shop, 151 Walworth Road, SE17 1QY. Southwark Town Hall, 31 Peckham Road, SE5 8UB